

Holdere

A Modern Estate Agent



29 Barsby Drive, Loughborough, LE11 5UJ

£230,000

Holdere Estate Agents are delighted to bring to market with No Upward Chain this three bedroom semi detached home in Loughborough. In brief the property offers an entrance hallway, lounge, dining room, kitchen, three bedrooms and family shower room. Outside there are front and rear gardens, off road parking and single garage.

Upon entry to the property through the front door you arrive in the spacious entrance hallway, this provides access to the lounge, dining room, kitchen, storage cupboard and there are stairs rising to the first floor.

The lounge has a large window to the front elevation and opening to the dining room at the rear.

The dining room is a great space, it has a window overlooking the garden, door to outside and door to the kitchen.

The kitchen is fitted with a matching range of wall and base units with countertops above. There is an oven with a gas hob, under counter space and plumbing for washing machine, space for a fridge & freezer. There is a window to the side elevation and glazed door to the rear elevation leading outside.

Ascending to the first floor you arrive on the landing, this provides access to all three bedroom and family shower room.

The main bedroom is situated at the front of the property, it is a great sized double room and benefits from a large window to the front elevation

Bedroom two is situated at the back of the property and has a nice outlook over the rear garden, it is a comfortable double room.

Bedroom three is situated at the front of the property and has a nice outlook over the front garden, it is a comfortable single bedroom complete with a built in storage cupboard.

Completing the accommodation on the first floor is the family shower room fitted with a three piece suite comprising shower cubicle, low flush w.c., pedestal wash hand basin and frosted window to the rear elevation.

Outside to the front you find an attractive low maintenance front garden. To the side is off road parking for two/three vehicles which leads to the single detached garage. The low maintenance rear garden is a great space to enjoy the summer months, and benefits from various different seating areas with gravel and patio areas throughout all of which is kept secure and private by wooden fencing.

Disclaimer

1. Intending purchasers will be asked to produce identification documentation.

2. While we endeavour to make our sales

particulars fair, accurate, and reliable, they are only a general guide to the property.

3. The measurements indicated are supplied for guidance only and, as such, must be considered incorrect.

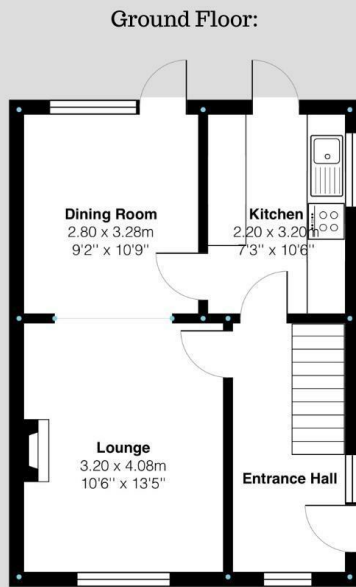
4. Please note we have not tested the services or any of the equipment or appliances in this property; accordingly, we strongly advise prospective buyers to commission their survey or service reports before finalising their offer to purchase.

5. These particulars are issued in good faith but do not constitute representations of fact or form part of any offer or contract. The matters referred to in these particulars should be independently verified by prospective buyers. Neither Holders Estate Agents nor its agents have any authority to make or give any representation or warranty concerning this property.

Extra information

To check Internet and Mobile Availability please use the following link: checker.ofcom.org.uk/engb/broadband-coverage To check Flood Risk please use the following link: check-long-term-flood-risk.service.gov.uk/postcode

Floor Plan



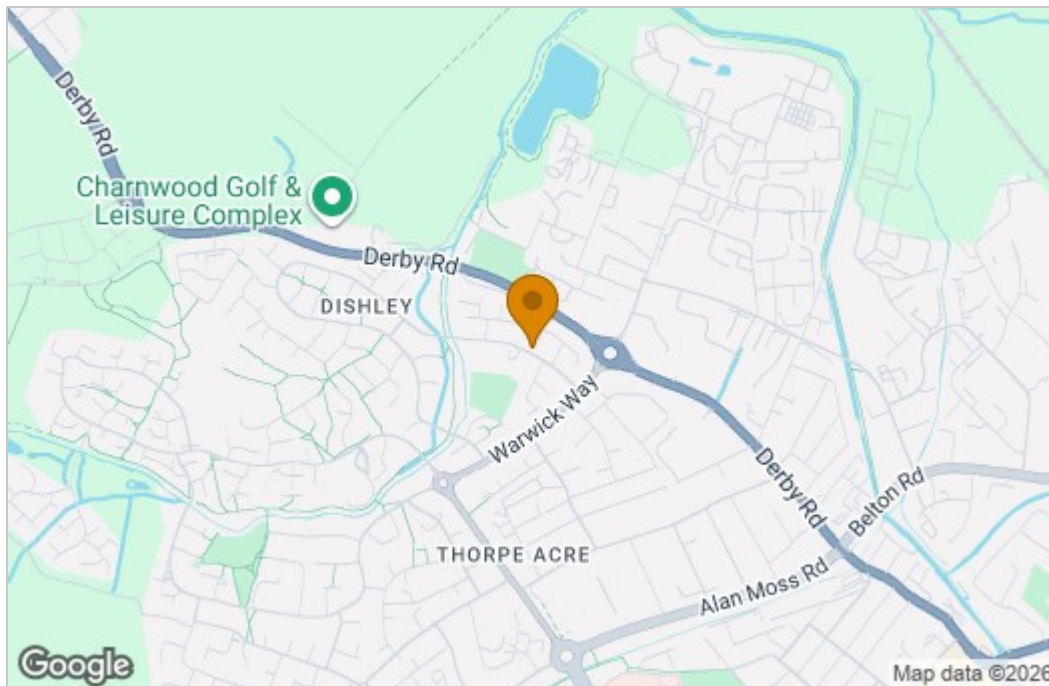
Barsby Drive, Loughborough
Internal Square Footage: Approx 861 sq.ft

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Area Map



Energy Efficiency Graph

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C		69	77
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

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